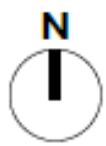
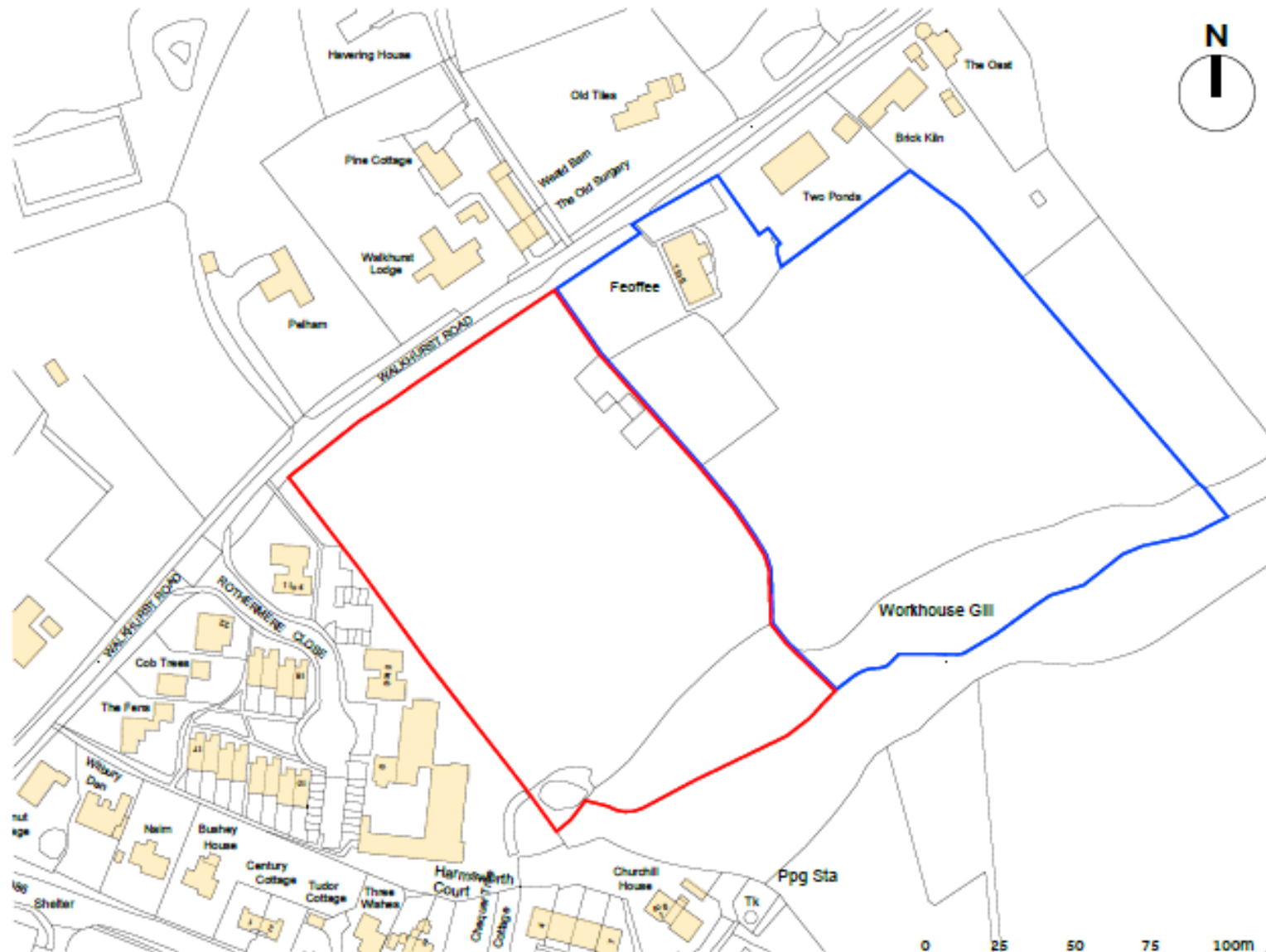


**Planning Reference:
19/00822/HYBRID**

**Land Adjacent Rothermere Close
Walkhurst Road
Benenden Cranbrook
Kent**

**Agenda Page No: 21
Supplementary Booklet Page No: 5**

Benenden Almshouse Charities



NOTES
 Report of discrepancies, errors and omissions
 Verify all dimensions on site before commencing any work on site or preparing shop drawings
 All materials, components and workmanship are to comply with the relevant British Standards, Codes of Practice, and appropriate manufacturers recommendations that from time to time shall apply
 For all specialist work, see relevant drawings
 This drawing and design are copyright of Clague LLP
 Registration number 02033804

Rev	Date	Description
-----	------	-------------

Project Title
 Proposed Residential Development
 Land Adjacent to
 Feoffee Cottages
 Walkhurst Road
 Benenden
 for Benenden Alms House Charities

Drawing Description
 Site Location Plan

Scale	Drawn by
1:1250@A3	GB
Date	Checked by
February 2019	ADC

CLAGUE ARCHITECTS

10 Ruggles, Canterbury
 Kent CT1 2BN

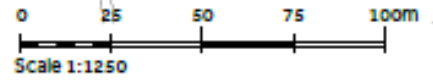
1 Woodhouse Court, Lubin Road,
 Harpenden, Hertfordshire AL5 2BL

2, Clancy Street
 London E21 1JF

CANTERBURY LONDON HARPENDEN

Drawing Number	Revision
23240A / 01	A



Proposed Residential Development, Land Adjacent to Feoffee Cottages





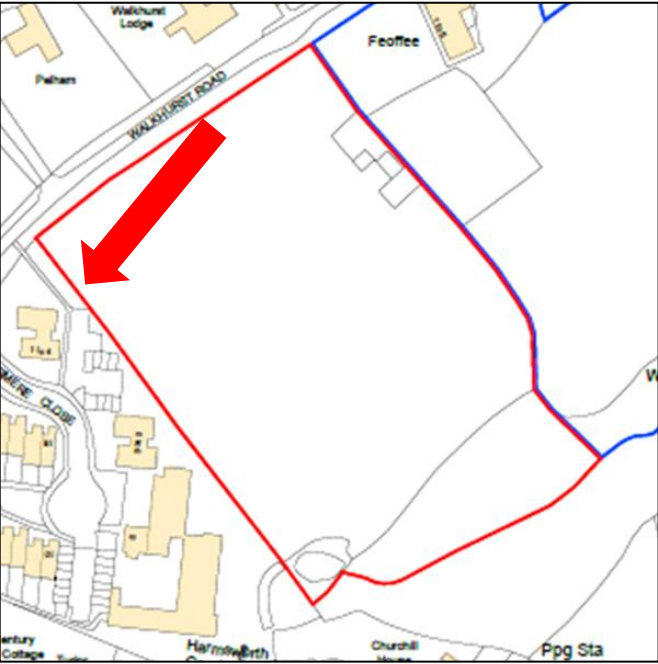
Ordnance Survey, Contains OS data © Crown Copyright (and database right) 2015, Ordnance Survey data © Crown Copyright and database right 2020, OS 100003893

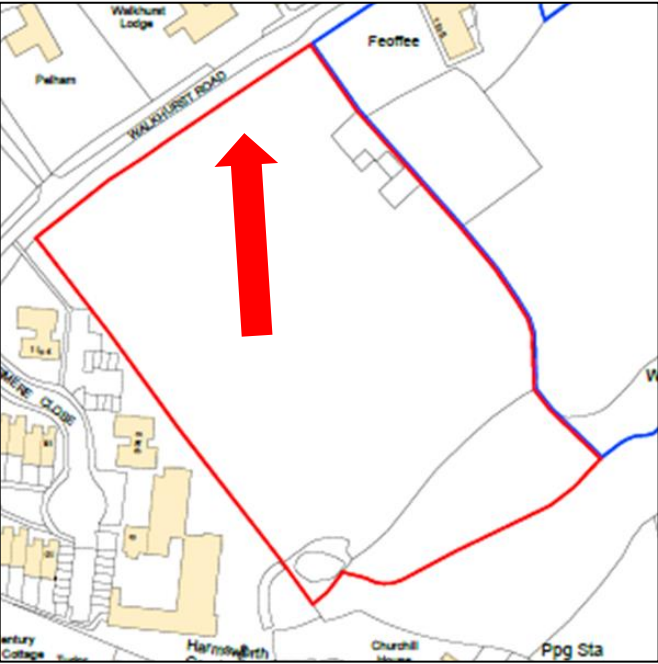
Legend

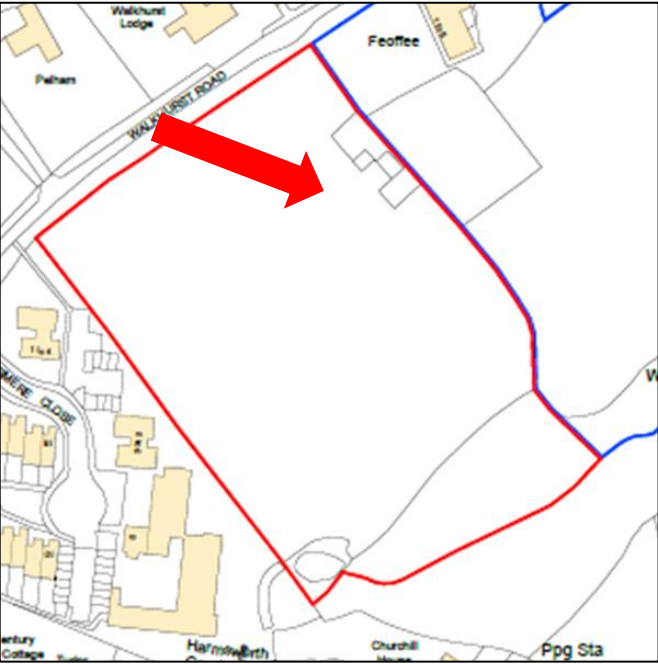
-  Ancient Woodland 30m buffer - Natural England
-  Conservation Areas
-  Listed Building - UNIFORM
-  Current Planning Applications (PCO or PDE)
-  Tree Preservation Orders - UNIFORM
-  TWBC Boundary
-  Area of Landscape Importance EN22
-  Limits to Built Development LBD1

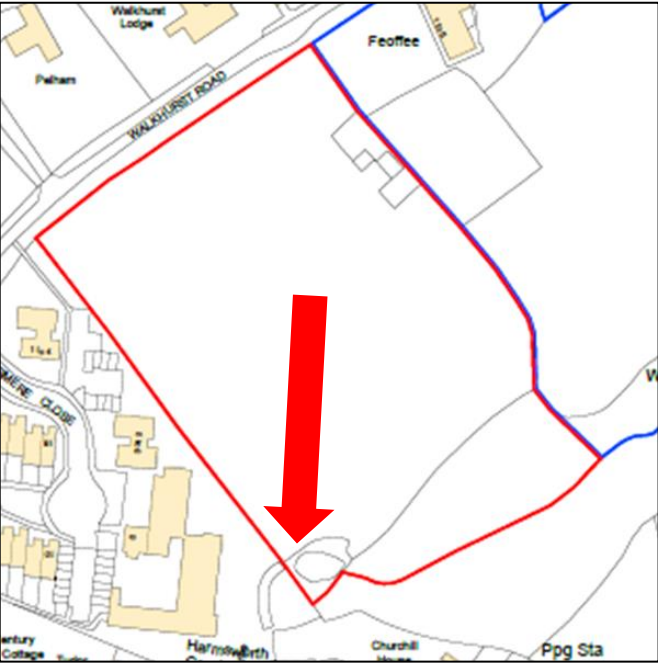


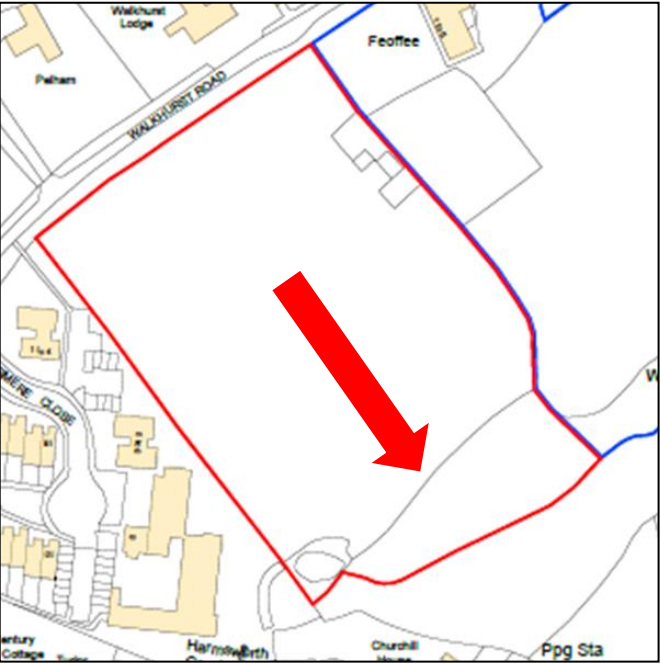
Ordnance Survey, Contains OS data © Crown Copyright [and database right] 2019, Ordnance Survey data © Crown copyright and database right 2020. OS 100030994.

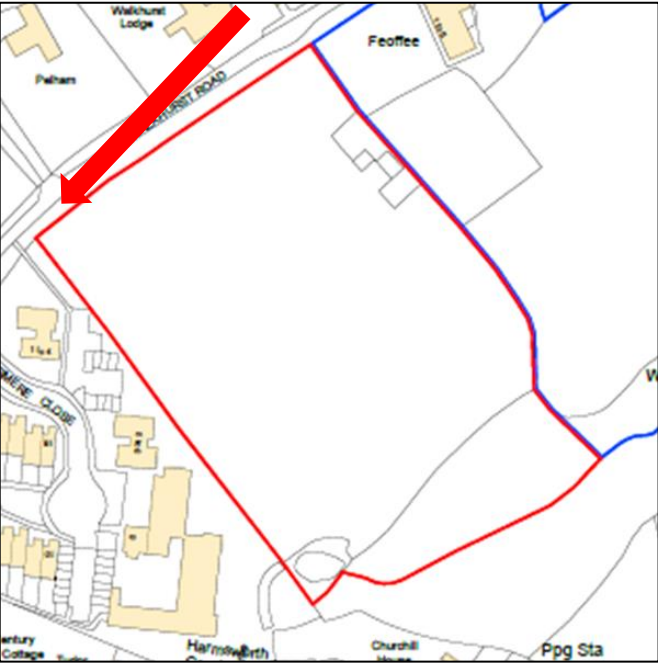


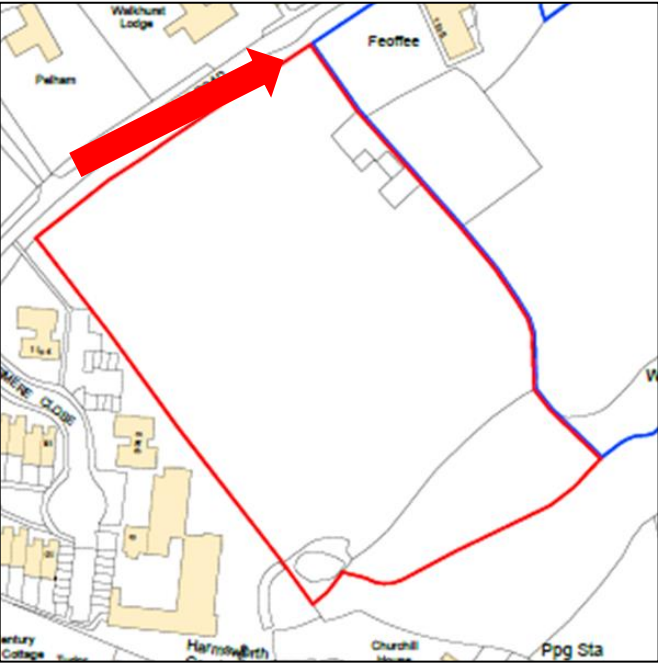


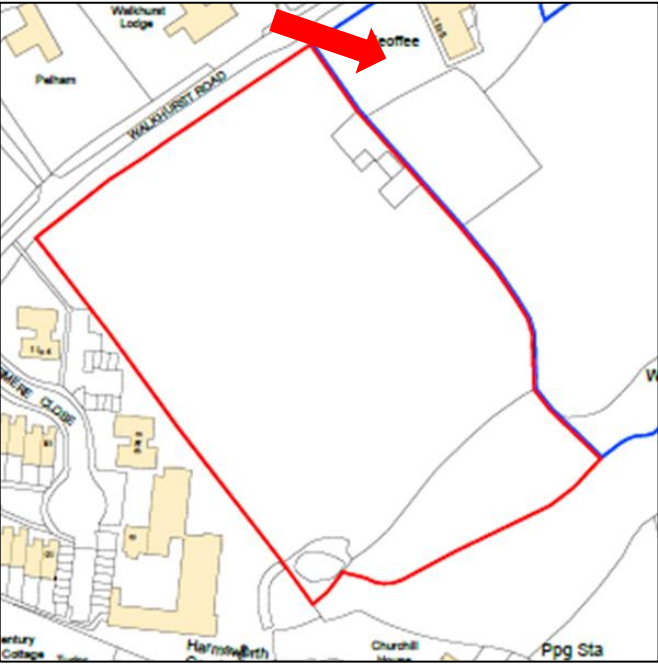


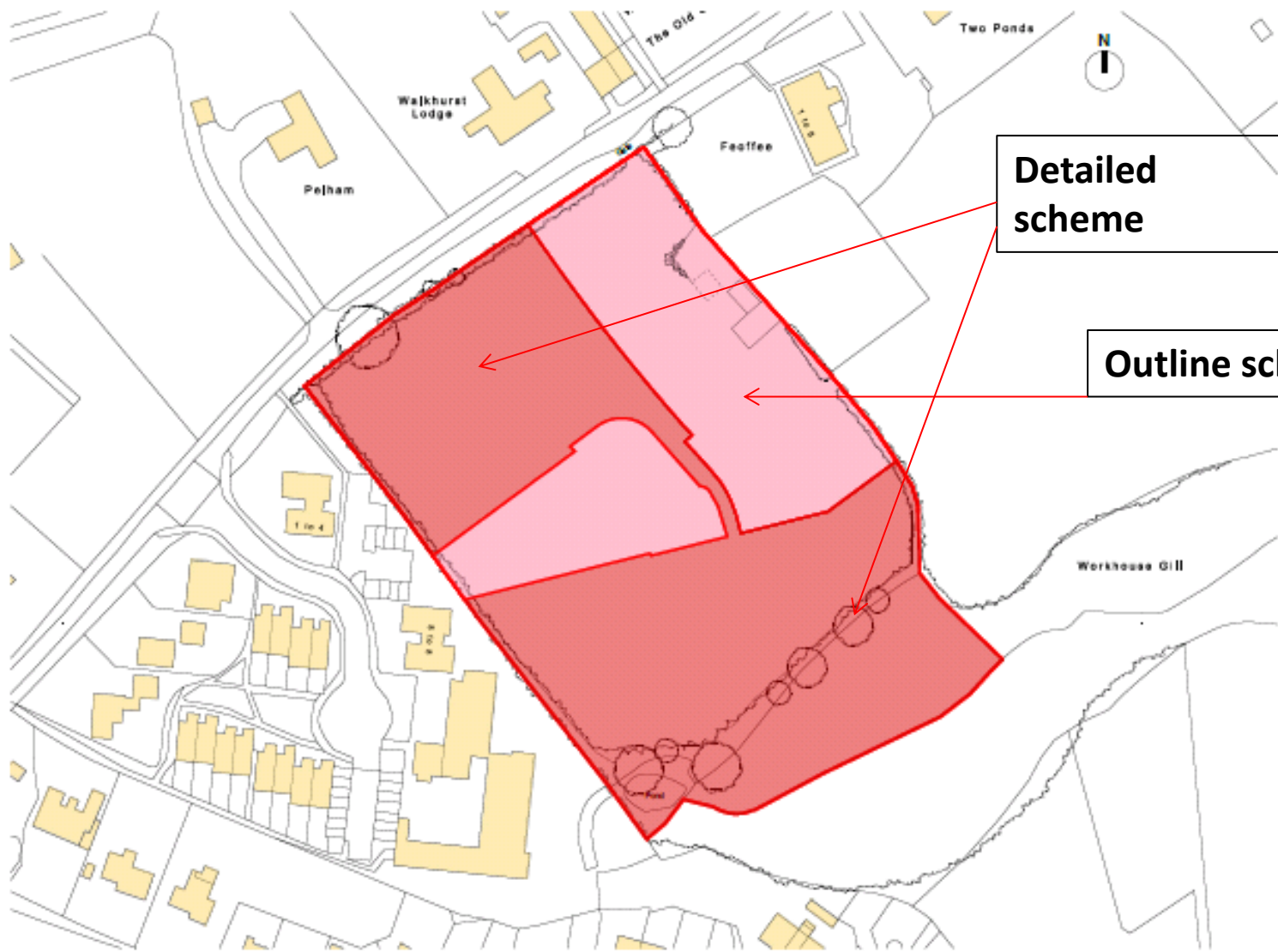












Detailed scheme

Outline scheme

NOTE
 Figure of Proposed Area in Hectares
 Scale of Drawing is 1:1000 containing an area of about
 100m x 100m
 All figures are approximate and should not be used for
 legal purposes. They are for information only.
 For a particular area please refer to the site plan.
 The map is for information only and does not constitute
 any offer of land or any other financial product.
 No part of this map should be used for
 any other purpose.

Key

■	Detailed Application - 1.12 Hectares
■	Outline Application - 0.27 Hectares
	Total - 1.39 Hectares

Proposed Residential Development
 Land adjacent to Feoffee Cottages
 Walkhurst Road
 Benenden

Outline Application Plan

Date:	13/02/2018	Drawn by:	JL
Rev:	February 2018	Checked by:	TMM

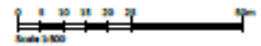
CLAUQUE ARCHITECTS

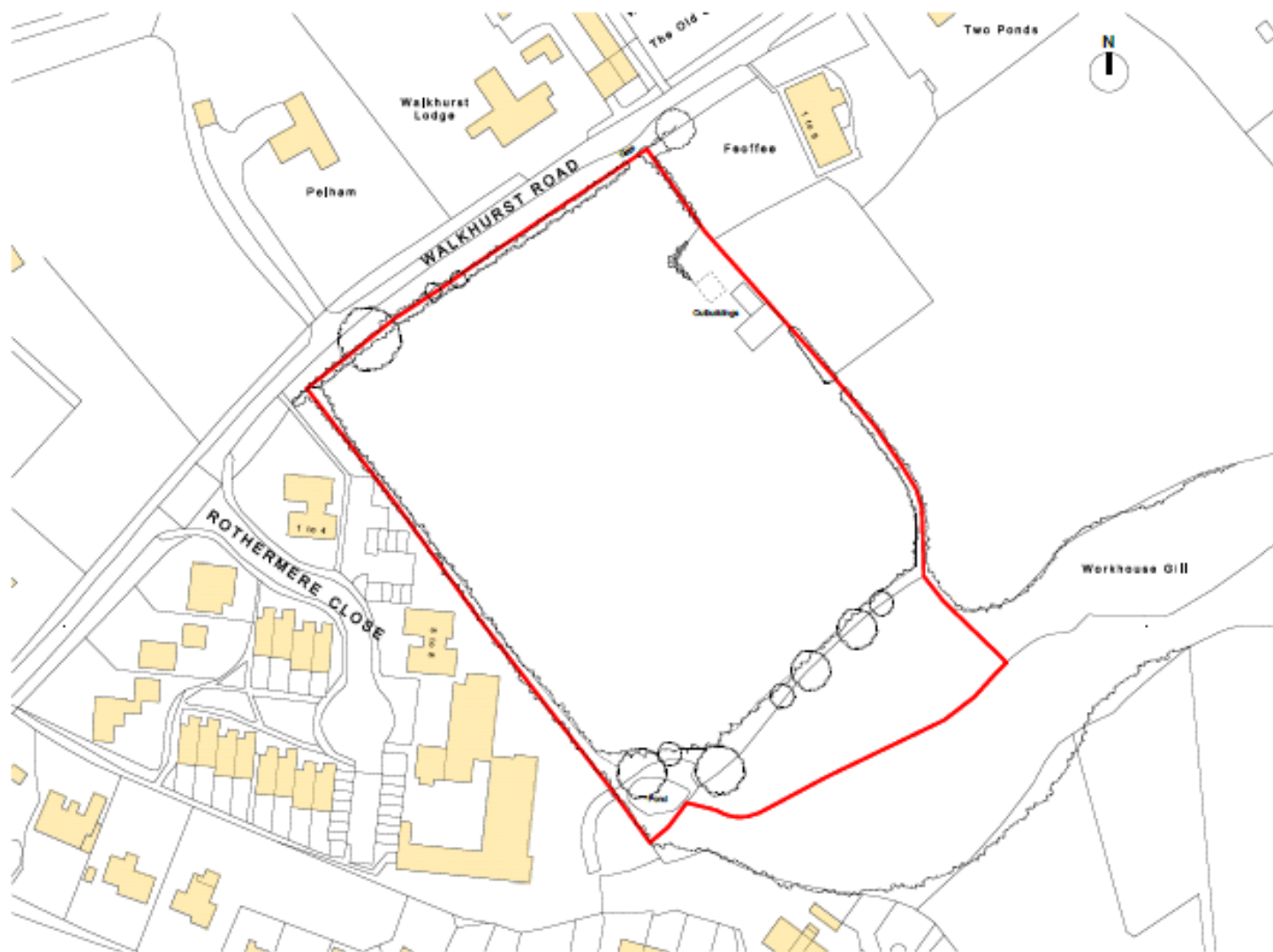
41 Regent, Canterbury
 Kent CT1 3JG
 11 Oldfords Court, Lower Road,
 Haslemere, Surrey GU27 0LH
 4, Abbey Road,
 London NW1 1UP

CANTERBURY LONDON HASLEMERE

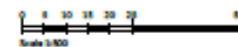
Working Number: 23240C / 03
 Version: B

Proposed Residential Development, Land adjacent to Feoffee Cottages, Walkhurst Road, Benenden





Proposed Residential Development, Land adjacent to Feoffee Cottages, Walkhurst Road, Benenden



NOTES
 1. This plan is for information only and does not constitute a contract.
 2. The site is shown as an outline only and does not show any existing buildings or structures.
 3. All buildings, structures and services are shown as they are and are not to be taken as a guarantee of their existence or condition.
 4. The plan is subject to the provisions of the relevant legislation.
 5. The plan is subject to the provisions of the relevant legislation.
 6. The plan is subject to the provisions of the relevant legislation.
 7. The plan is subject to the provisions of the relevant legislation.
 8. The plan is subject to the provisions of the relevant legislation.
 9. The plan is subject to the provisions of the relevant legislation.
 10. The plan is subject to the provisions of the relevant legislation.

Project Name
**Proposed Residential Development
 Land adjacent to Feoffee Cottages
 Walkhurst Road
 Benenden**

Project Number
As Existing Site Plan

Drawn	Checked
1.0/2021	JR
Date	Version
March 2018	T001

CLAUDE ARCHITECTS

100 High Street, Canterbury
 Kent CT1 1AA
 Telephone: 01227 333333
 Fax: 01227 333334
 Email: info@clauderchitects.co.uk
 Website: www.clauderchitects.co.uk

CANTERBURY LONDON WASHINGTON

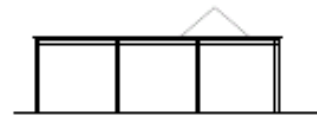
Project Name
23240C / 02

04/18
 Report of the proposed development
 This report is for the proposed development of 10 new almshouses on the site of the existing almshouses at Benenden Almshouses Charities. The development is proposed to be built on the site of the existing almshouses at Benenden Almshouses Charities. The development is proposed to be built on the site of the existing almshouses at Benenden Almshouses Charities. The development is proposed to be built on the site of the existing almshouses at Benenden Almshouses Charities.

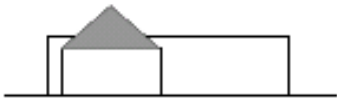
10 10 10



Existing Front Elevation
 Scale 1:100



Existing Side Elevation
 Scale 1:100



Existing Side Elevation
 Scale 1:100



Existing Rear Elevation
 Scale 1:100



Existing Floor Plan
 Scale 1:100

Proposed Residential Development, Land adjacent to Feoffee Cottages, Walkhurst Road, Benenden

Project
 Proposed Residential Development
 Land adjacent to Feoffee Cottages
 Walkhurst Road
 Benenden

Project Name
 Existing Outbuildings

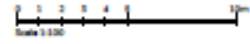
Scale 1:100 (A1)
 Date 04/18
 Client Benenden Almshouses Charities
 Designer TWM

GLAQUE ARCHITECTS

30 Beagles, Cambridge
 CB2 1 1 1
 1 Kings Arms, Great Ouse Road,
 Peterborough, Cambridgeshire CB1 1 1
 4, Milling Street,
 Luton LU1 1 1

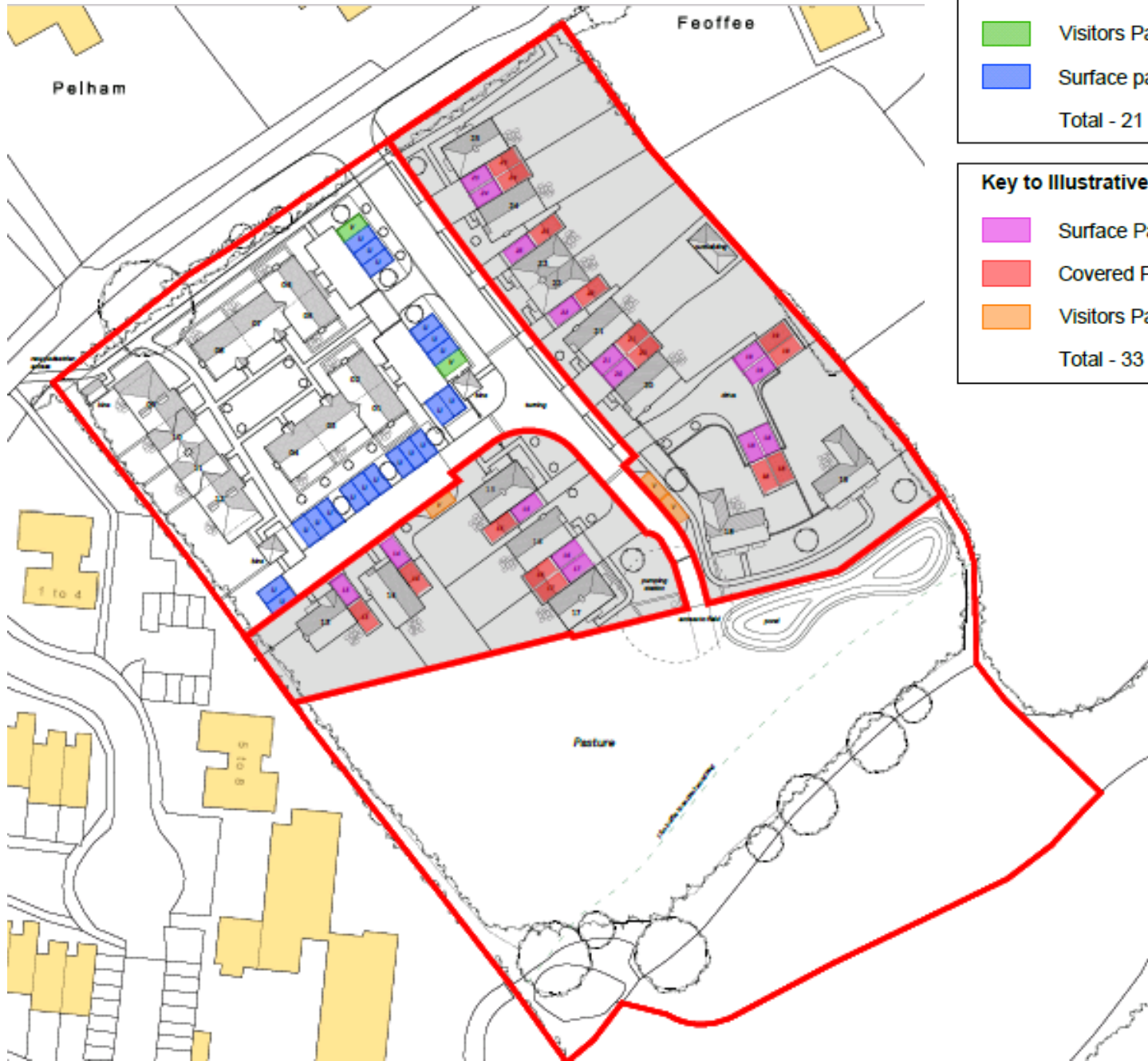
CAMBRIDGE LONDON HASTINGS

Project Name
 232400 / 05



Existing outbuildings



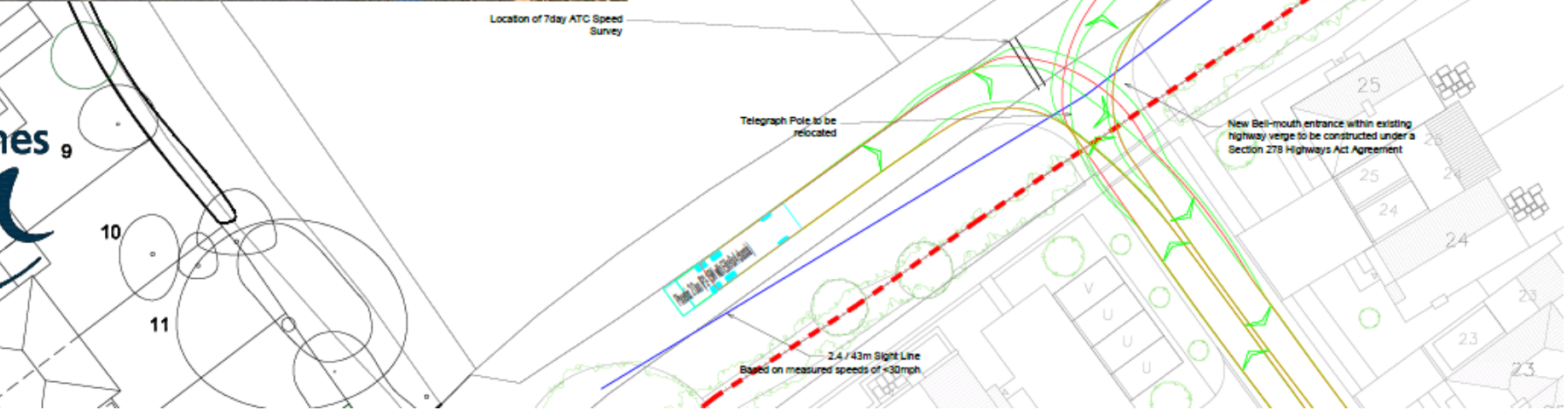


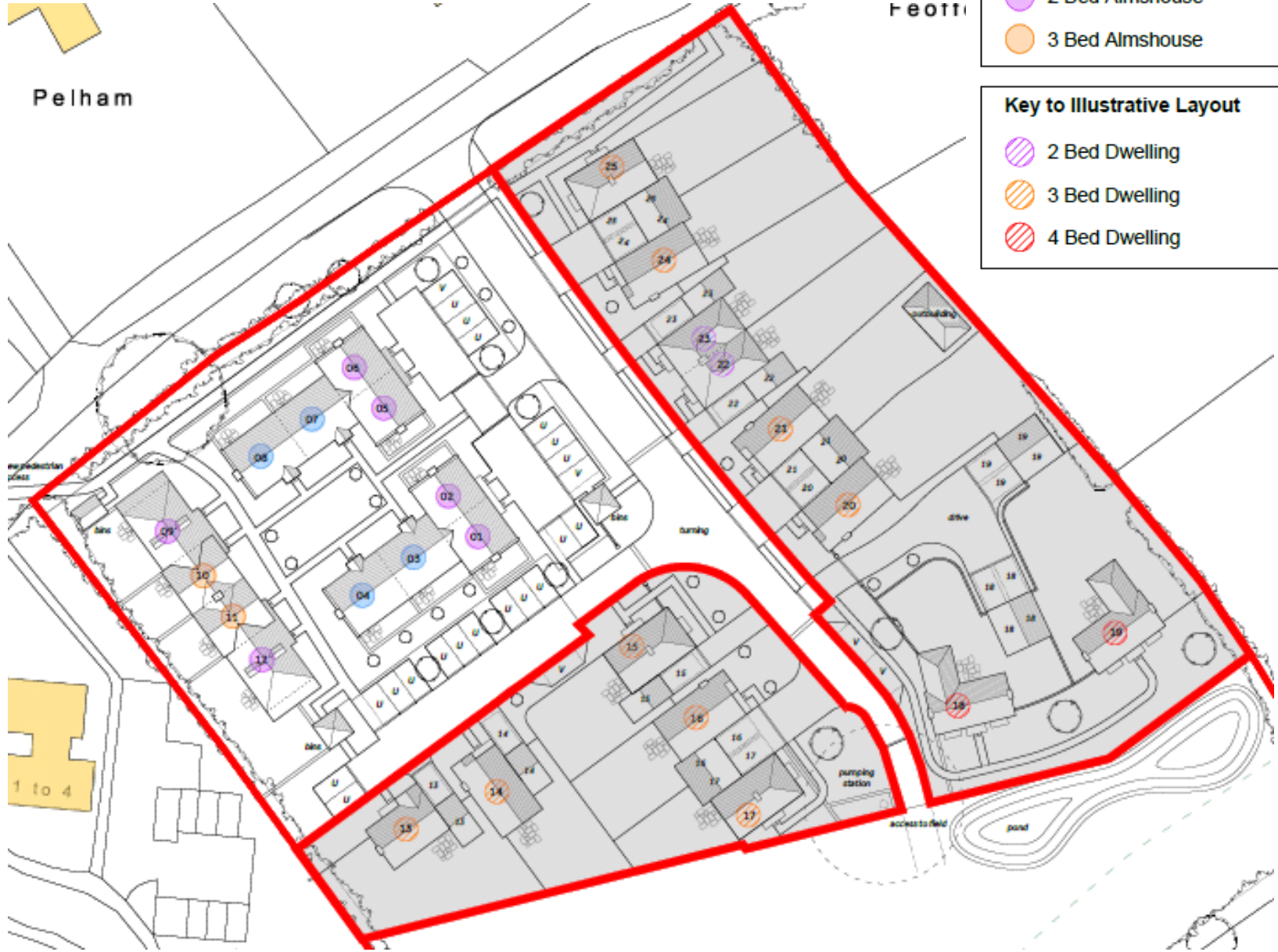
Key to Detailed Layout

- Visitors Parking - (2 spaces)
- Surface parking - (19 spaces)
- Total - 21 spaces

Key to Illustrative Layout

- Surface Parking - (15 illustrative spaces)
- Covered Parking - (15 illustrative spaces)
- Visitors Parking - (3 illustrative spaces)
- Total - 33 spaces



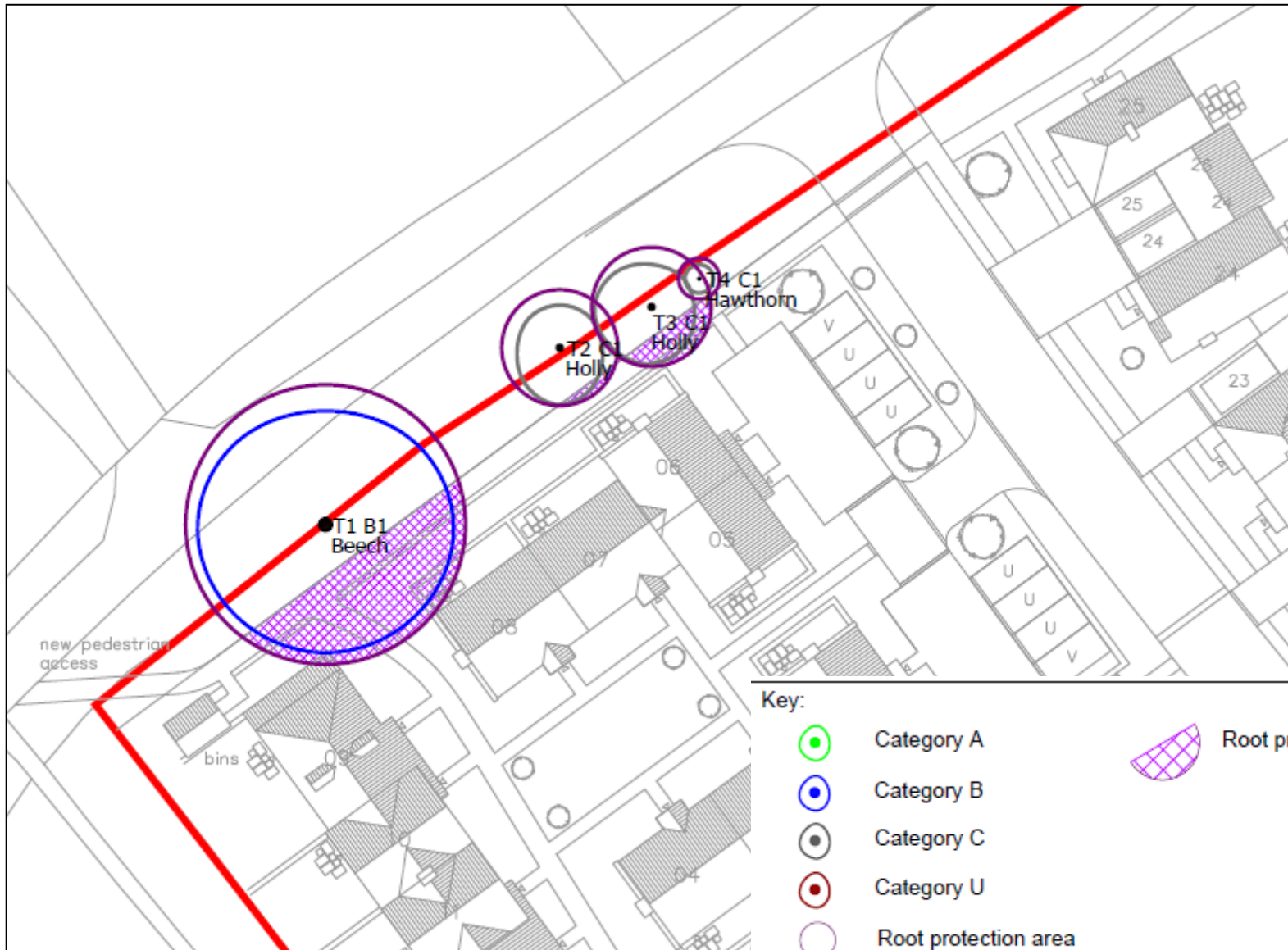


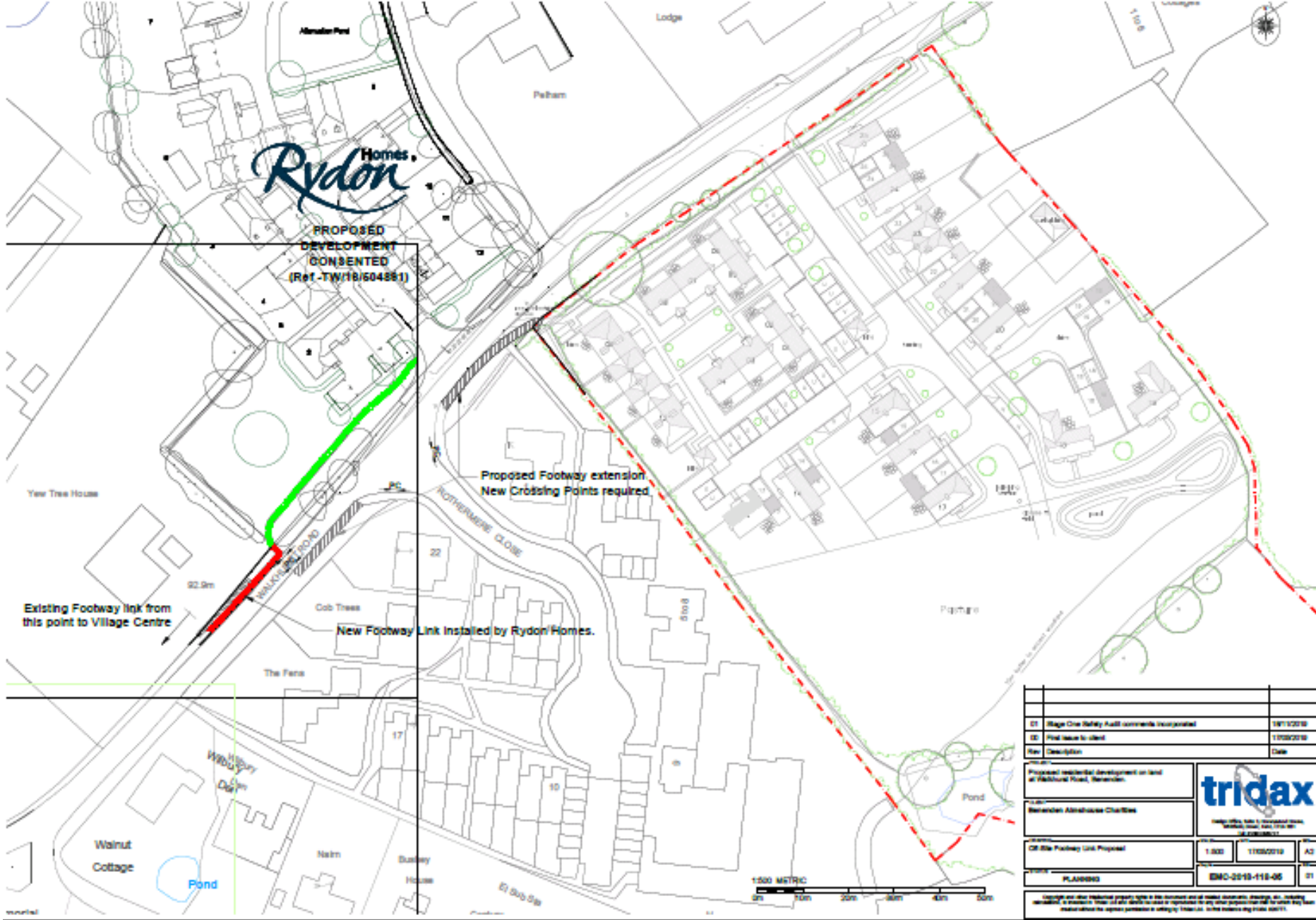
Key to Detailed Layout

- 1 Bed Almshouse
- 2 Bed Almshouse
- 3 Bed Almshouse

Key to Illustrative Layout

- ▨ 2 Bed Dwelling
- ▨ 3 Bed Dwelling
- ▨ 4 Bed Dwelling





Rydon Homes
PROPOSED DEVELOPMENT CONSENTED
 (Ref: TW/18/504881)

Proposed Footway extension
 New Crossing Points required

New Footway Link Installed by Rydon Homes.

Existing Footway link from
 this point to Village Centre

01	Stage One Safety Audit comments incorporated	18/12/2018	
02	Final Issue to client	17/03/2019	
Rev	Description	Date	
Proposed residential development on land at Redburn Road, Newnham. Rydon Homes Residential Redevelopment			
01	Off-site Footway Link Proposed	1/3/20	17/03/2019 A2
PLANNING BMD-2019-112-05		01	
<small>Copyright and other Intellectual Property Rights in the contents of all related documents, drawings, etc., including this plan, are retained by the client. No part of this plan may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the client.</small>			

Offsite footway plan



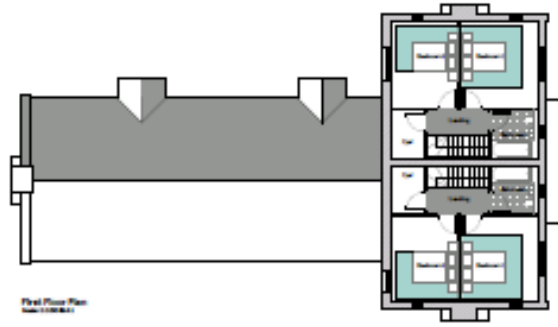
Front Elevation
See 1/100 scale



Side Elevation
See 1/100 scale



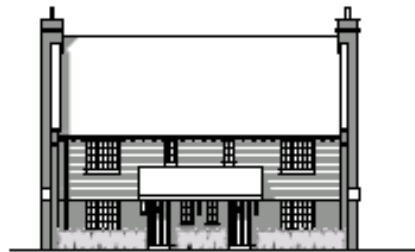
Ground Floor Plan
See 1/100 scale



First Floor Plan
See 1/100 scale



Rear Elevation
See 1/100 scale



Side Elevation
See 1/100 scale

NOTES
 1. Refer to Appendix A for an elevation
 2. Refer to Appendix B for a plan showing the site in its
 existing context
 3. Refer to Appendix C for a plan showing the site in its
 existing context
 4. Refer to Appendix D for a plan showing the site in its
 existing context
 5. Refer to Appendix E for a plan showing the site in its
 existing context
 6. Refer to Appendix F for a plan showing the site in its
 existing context
 7. Refer to Appendix G for a plan showing the site in its
 existing context
 8. Refer to Appendix H for a plan showing the site in its
 existing context
 9. Refer to Appendix I for a plan showing the site in its
 existing context
 10. Refer to Appendix J for a plan showing the site in its
 existing context

No.	Date	Description

NOTES
 Proposed Residential Development
 Land adjacent to Feoffee Cottages
 Walkhurst Road
 Benenden

Working Title
 Proposed Almshouse
 Units 1 to 4
 Proposed Floor Plans & Elevations

Date	Drawn By
1. 10/20/11	JR
2. 10/20/11	JK
3. 10/20/11	JK

CLAUDE ARCHITECTS

40 Regent, Canary Wharf
 London E16 1RH
 020 7552 1000
 www.claudearchitects.com

CANTERBURY LONDON HASTINGS

Working Title
 232400 / 20 A

Proposed Residential Development, Land adjacent to Feoffee Cottages, Walkhurst Road, Benenden



Units 1-4



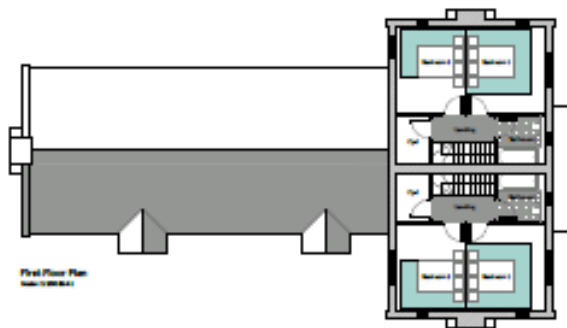
Front Elevation
Scale: 1:100



Side Elevation
Scale: 1:100



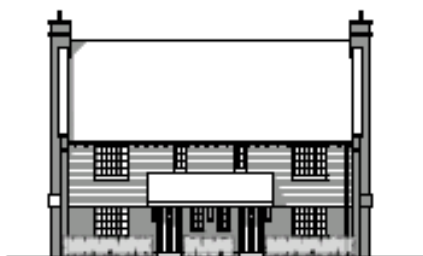
Ground Floor Plan
Scale: 1:100



First Floor Plan
Scale: 1:100



Rear Elevation
Scale: 1:100



Side Elevation
Scale: 1:100

NOTE:
Floor & ceiling levels are indicated
Scale of drawings is 1:100 unless otherwise stated or as indicated on drawings
All internal dimensions are given unless otherwise stated
All external dimensions are given unless otherwise stated
The drawings are for information only and do not constitute a contract
The drawings are for information only and do not constitute a contract

Rev. Date. Description

Project No.
Proposed Residential Development
Land adjacent to Feoffee Cottages
Walkhurst Road
Benenden

Design Number
Proposed Almshouse
Units 5 to 8
Proposed Floor Plans & Elevations

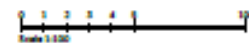
Scale: 1:100
Date: 2018
Author: JH
Checker: TMM

CLAUQUE ARCHITECTS

30 Regent, Canterbury
Kent CT1 2LN
T: 01226 333333
E: info@clauque.co.uk
www.clauque.co.uk

CANTERBURY LONDON HASTINGS

Design Number: 23240C / 21
Revision: A



Proposed Residential Development, Land adjacent to Feoffee Cottages, Walkhurst Road, Benenden

Units 5-8

Benenden Almshouses Charities

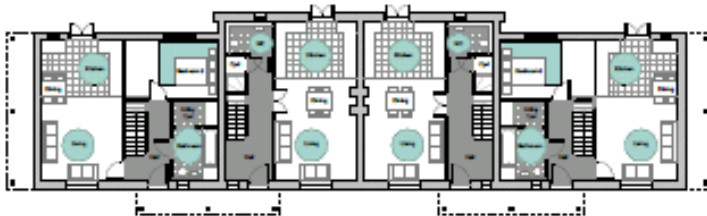
NOTE:
 This is a preliminary architectural drawing and is not intended to be used for construction purposes. It is for information only and is not intended to be used for any other purpose. It is not intended to be used for any other purpose. It is not intended to be used for any other purpose.



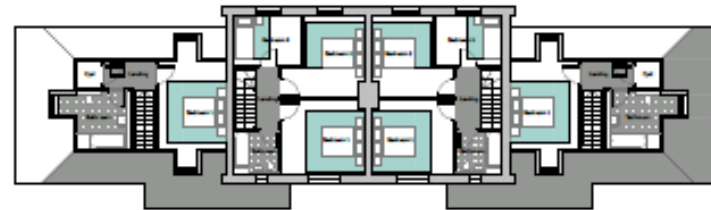
Front Elevation
 Scale 1:500



Side Elevation
 Scale 1:500



Ground Floor Plan
 Scale 1:500



First Floor Plan
 Scale 1:500



Rear Elevation
 Scale 1:500



Side Elevation
 Scale 1:500

Project No:
 Proposed Residential Development
 Land adjacent to Feoffee Cottages
 Walkhurst Road
 Benenden

Issue Number:
 Proposed Almshouse
 Units 9 to 12
 Proposed Floor Plans & Elevations

Date:
 11/05/21

Drawn by:
 JH

Check:
 MH/2018

Scale:
 1:500

CLAUQUE ARCHITECTS

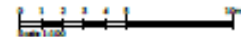
25 Regent, Canterbury
 Kent CT1 1JH
 01227 355555

1 Oldbourne, Lower Lutter Road,
 Canterbury, Kent CT1 3JH
 01227 355555

6, Longway Street,
 London SE1 1UF
 020 7611 9112

CANTERBURY LONDON HASTINGS

Issue Number:
 23240C / 22



Proposed Residential Development, Land adjacent to Feoffee Cottages, Walkhurst Road, Benenden

Unit 9-12

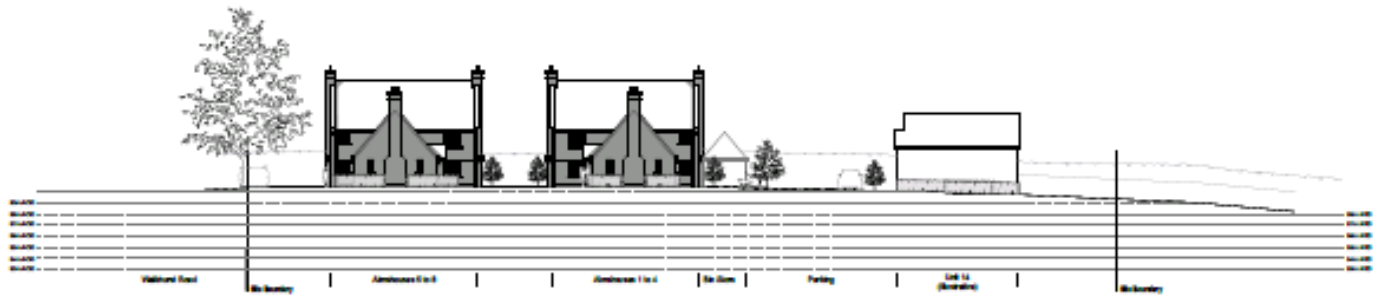
Benenden Almshouses Charities



Proposed Site Section D-D (1:200)

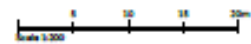


Proposed Site Section E-E (1:200)



Proposed Site Section F-F (1:200)

Proposed Residential Development, Land adjacent to Feoffee Cottages, Walkhurst Road, Benenden



NOTES
 1. Refer to the site plan for the location of the proposed development.
 2. All buildings are proposed to be constructed in accordance with the Building Regulations and the relevant Building Regulations.
 3. The proposed development is subject to the approval of the Local Planning Authority.
 4. The proposed development is subject to the approval of the Local Planning Authority.
 5. The proposed development is subject to the approval of the Local Planning Authority.



Key Plan

Project Name
 Proposed Residential Development
 Land adjacent to Feoffee Cottages
 Walkhurst Road
 Benenden

Drawing Number
 Proposed Site Sections
 Sheet 2 of 2

Date: 12/06/21
 Drawn by: CJ
 Checked by: JMK
 Date: November 2018
 Title: TITLE

CLAUDE ARCHITECTS

10 Regent, Canterbury
 Kent CT1 3AP
 01227 333333
 11 Oldford Road, London Road
 Canterbury, Kent CT1 3AB
 01227 333333
 A. Cloude
 London SE1 1UP
 020 7491 8110

CANTERBURY LONDON HASTINGS
 Drawing Number: 232400/31
 Scale: A

